

MULTIMODAL ACCESS CLOSURE EXCEPTION APPLICATION FORM AND CHECKLIST

Submittal Date: 1/20/26 ☒ **New Submittal** ☐ **Re-Submittal No:** _____

Related Building Permit No: CACH 2021061942

Project Name: Voce Hotel and Residences

Street Name Location: Hayes and 18th Streets

Between: Project site lines **And:** Project site lines

Applicant Name: BL Harbert INTL

Address: 5250 Virginia Way Suite 200, Brentwood, TN 37027

Phone: 615-829-3152 **Contact:** Jim Harvilchuck

Email: jharvilchuck@blharbert.com

Project Description: A 25 story Hotel/Condo with 680 parking spaces and 309 rooms.

Start Date: 1/05/26 **End Date:** 3/20/28 **Project Length:** 26 Monthes

Describe Type of Closure: Requesting closure from February 2026 thru November 2027

for sidewalk and one parking lane. Closure is needed for demolition of existing sidewalks and curb and gutter, 20 foot deep excavation of a NES vault in the sidewalk, and construction of the building.

Provide Reasons why Project cannot be completed without closures and what other options were considered (attach documents as needed): Full reconstruction and utility operations required including a 20' deep NES vault in the sidewalk, and access to a tower crane as well as man material hoist, the requested closing is needed to maintain the safety of the public during construction operations.

PROJECT INFORMATION CHECKLIST:

Included



Project Vicinity Map with Project Area shown, street names, property information, existing pavement and striping, gutter and building locations, north arrow, and scale. **Included as Exhibit 5.**



Planned work hours included. **Monday thru Saturday, 7AM to 5PM, overnight night concrete pours as required.**



Exact location, dimensions and excavation depths of the construction work zone shown **Included as Exhibit 6.**



If multiple phases are necessary, include perimeter impact of each phase, phase number, anticipated work hours and phase duration. **Requested main closure of this packet requested for 20 months.**



Details on construction activity and equipment being used as part of construction included for each phase. **Main construction phase will include a tower crane, dual man material hoist**



Specify if any on-street parking, and/or metered parking, is to be restricted and if bus zone will need to be relocated. **On street paid parking to be restricted on Hayes and 18th street. Please see existing conditions map Exhibit 5.**



Specify if trash pickup will be impacted. **Trash pickup will not be impacted**



Provide information and plans for all utility work and utility connections.

Please see exhibit 2



List all affected residents, businesses, agencies, and schools and any conversations/agreements taken place. **Talked with Marriot next door, Vastland, Wells Fargo, and rented adjacent parking lot.**



Show ongoing construction projects within vicinity of proposed project impact and plan to address conflicts **There is currently no adjacent construction projects ongoing at this time.**



Provide traffic control plan for each phase of construction (see traffic control checklist for more information). **See Exhibit 1**



Provide information on your and subcontractor's work vehicle parking locations. **We have paid to rent the adjacent parking lot directly to the east from Cherry for total duration of job. We will have some parking in that lot.**



Show construction trucks ingress/egress to project location. **See Exhibit 4**



Provide information on any traffic signals, traffic signal loops, and traffic signal cabinets in close proximity to project. **See Exhibit 1.**

PROJECT INFORMATION CHECKLIST (Continued):

Included



Display the locations of all poles, mailboxes, and signs impacted by the project. **NES/AT&T/Comcast/Google Fiber all have relocation requests filed with each respective entity.**



Document existing conditions around the job site, including pavement, curb, gutter, and crosswalks. **Full picture survey on file.**



Show fire department connection (FDC) locations for the building and outline clear emergency access routes. **See Exhibit 7**



Identify provisions to maintain sightlines for traffic at intersections where impacted by construction fencing. **See Exhibit 1.**



Show proposed locations of any job trailers or dumpsters to be located in the ROW. **Trailers to be on private rented lot to east of job as shown in logistics plan.**



Provide concrete pouring locations, timing, and staging plans for concrete trucks. **See exhibit 4. Concrete pouring main slabs will be overnight. Trucks to be staged inside the proposed lane closures.**

TRAFFIC CONTROL PLAN CHECKLIST:

Included Not Applicable

☐

All temporary traffic control plans shall be designed in accordance with the most recent ADA regulations and requirements of the Manual of Uniform Traffic Control Devices.

☐

Clearly show the locations of all existing signs (including speed limit) as well as the proposed signs for each construction phase.

☐

Show the location of all existing pedestrian paths and pedestrian detour route of each stage of construction.

☐

Show dimensions of travel lane width, shoulder width, sidewalk of each phase, and overall roadway width along the length of affected area.

☐

Show all existing striping and markings to remain, to be removed, and all proposed striping and markings for each construction stage.

☐

Provide detour plan clearly showing detour route for any roadway or pedestrian/bike path closures.

☐

Specify placement of all temporary traffic control devices.

☐

Specify spacing of all temporary traffic control devices.

☐

Show all existing traffic signals and streetlights in the work zone location.

☐

Lighting provided for all pedestrian detour routes.

☐

Provide minimum eleven (11) foot travel lanes at all times.

☐

Show size, height, and location of all channelizing devices, warning lights, flag trees, barriers, etc.

☐

Label all taper lengths and widths.

☐

Provide locations of police officers for each phase as needed.

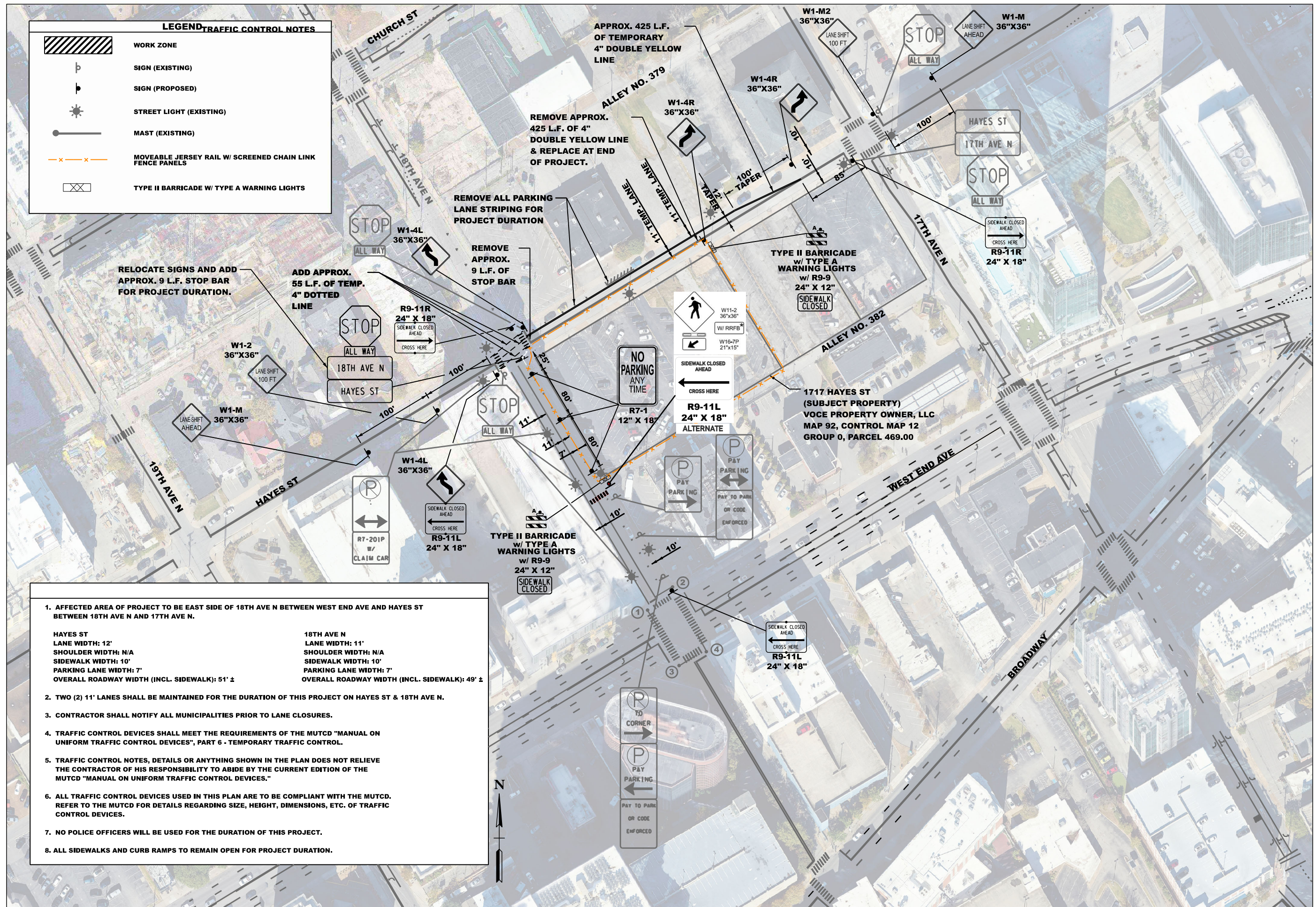
☐

Temporary Traffic Control Plan has been stamped and signed by a TN licensed Civil Engineer.

☐

Exhibits Index

1. Engineered Traffic Control Plan and traffic signal information.
2. Final Development plan, Proposed site utility plans, onsite and offsite.
3. Asphalt re-paving plan
4. General Contractors Logistics Plan
5. Existing Project Vicinity Map
6. Excavation Locations.
7. FDC locations during construction, emergency access.



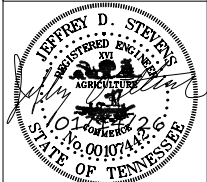
- 1. AFFECTED AREA OF PROJECT TO BE EAST SIDE OF 18TH AVE N BETWEEN WEST END AVE AND HAYES ST BETWEEN 18TH AVE N AND 17TH AVE N.**
- | | |
|--|--|
| HAYES ST | 18TH AVE N |
| LANE WIDTH: 12' | LANE WIDTH: 11' |
| SHOULDER WIDTH: N/A | SHOULDER WIDTH: N/A |
| SIDEWALK WIDTH: 10' | SIDEWALK WIDTH: 10' |
| PARKING LANE WIDTH: 7' | PARKING LANE WIDTH: 7' |
| OVERALL ROADWAY WIDTH (INCL. SIDEWALK): 51' ± | OVERALL ROADWAY WIDTH (INCL. SIDEWALK): 49' ± |
- 2. TWO (2) 11' LANES SHALL BE MAINTAINED FOR THE DURATION OF THIS PROJECT ON HAYES ST & 18TH AVE N.**
- 3. CONTRACTOR SHALL NOTIFY ALL MUNICIPALITIES PRIOR TO LANE CLOSURES.**
- 4. TRAFFIC CONTROL DEVICES SHALL MEET THE REQUIREMENTS OF THE MUTCD "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", PART 6 - TEMPORARY TRAFFIC CONTROL.**
- 5. TRAFFIC CONTROL NOTES, DETAILS OR ANYTHING SHOWN IN THE PLAN DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO ABIDE BY THE CURRENT EDITION OF THE MUTCD "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."**
- 6. ALL TRAFFIC CONTROL DEVICES USED IN THIS PLAN ARE TO BE COMPLIANT WITH THE MUTCD. REFER TO THE MUTCD FOR DETAILS REGARDING SIZE, HEIGHT, DIMENSIONS, ETC. OF TRAFFIC CONTROL DEVICES.**
- 7. NO POLICE OFFICERS WILL BE USED FOR THE DURATION OF THIS PROJECT.**
- 8. ALL SIDEWALKS AND CURB RAMPS TO REMAIN OPEN FOR PROJECT DURATION.**

[illegible]

COLLIER
ENGINEERING CO., INC.
CONSULTING • DESIGN • CONSTRUCTION

2949 NOLENSVILLE PIKE, NASHVILLE, TN 37211
PHONE: (615) 331-1441 FAX: (615) 331-1050

PROPOSED TRAFFIC CONTROL PLAN
1717 HAYES ST
TRAFFIC CONTROL PLAN
DAVIDSON COUNTY, TENNESSEE



DATE: 01/14/26

DESIGNED BY: ADD

DRAWN BY: ADD

SUPERVISED BY: SGB

CHECKED BY: JDS

NOT TO SCALE	
YEAR:	2026
SHEET NO:	

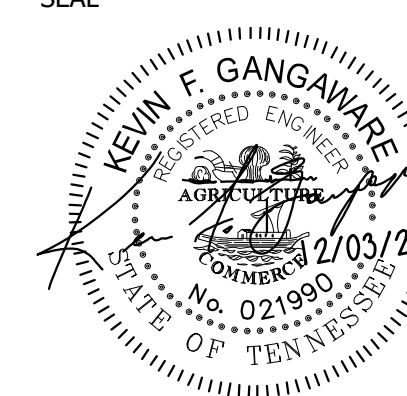
Exhibit 1

1717 HAYES ST - TRAFFIC & PEDESTRIAN SIGNALS					
NO.	LOCATION	CAMERA/LOOPS/CABINETS	STREET LIGHT	SIGNS	SIGNAL HEADS
1	NW CORNER WEST END AVE & 18TH AVE N	LOOP	NO	S-18TH AVE-N (D3-1) R10-3i	2 - THRU THRU + LEFT TURN 2 - PEDESTRIAN CROSSING
2	NE CORNER WEST END AVE & 18TH AVE N	LOOP	NO	WEST END AVE (D3-1) R10-3i	2 - THRU 2 - PEDESTRIAN CROSSING
3	SE CORNER WEST END AVE & 18TH AVE N	LOOP	NO	N-18TH AVE-S (D3-1) R10-3i	2 - THRU THRU + LEFT TURN 2 - PEDESTRIAN CROSSING
4	SW CORNER WEST END AVE & 18TH AVE N	LOOP	YES	WEST END AVE (D3-1) R10-3i	2 - THRU PEDESTRIAN CROSSING

CSDG
Planning | Engineering
Landscape Architecture

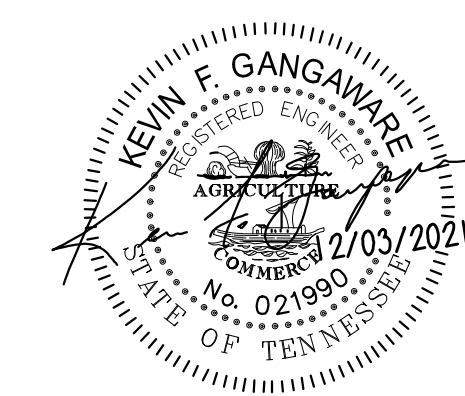
2305 Kline Ave., Ste 300
Nashville, TN 37211
615.248.9999
csdgn.com

SEAL



Hayes St. & 18th Ave. N
Nashville, Davidson Co,
Tennessee 37203

2



PROJECT

Hayes St. & 18th Ave N.
Nashville, Tennessee 37203

ISSUE SET:

Final Specific Plan

ISSUE DATE

REVISION SCHEDULE:		
No.	Description	Date
1	Stormwater Comments	05/11/21
2	Final SP Resubmittal	05/27/21
3	MWS Resubmittals	07/16/21
4	MWS Resubmittals	08/17/21
5	Final SP Resubmittal	09/14/21
6	Building Permit Review	10/29/21
7	IFC 2	12/13/21

REVISION:	DRAWN:	CHECKED:
	AM	KG

STORM SEWER PLAN AND PROFILE

C3.03
PROJECT NO.: 19-151-01

SHEET HISTO

ISSUE	DATE
SCHEMATIC DESIGN 3	09/24/2010
DESIGN DEVELOPMENT	03/12/2011
PROGRESS PRINT	04/16/2011
FOUNDATION PERMIT PACKAGE	05/05/2011
IFC - CORE & SHELL	09/17/2011
IFC 2	12/13/2011

JOB NUMBER _____

191180

SHEET TITLE

STORM SEWER PLAN AND PROFILE

SHEET NUMBER

C3.03

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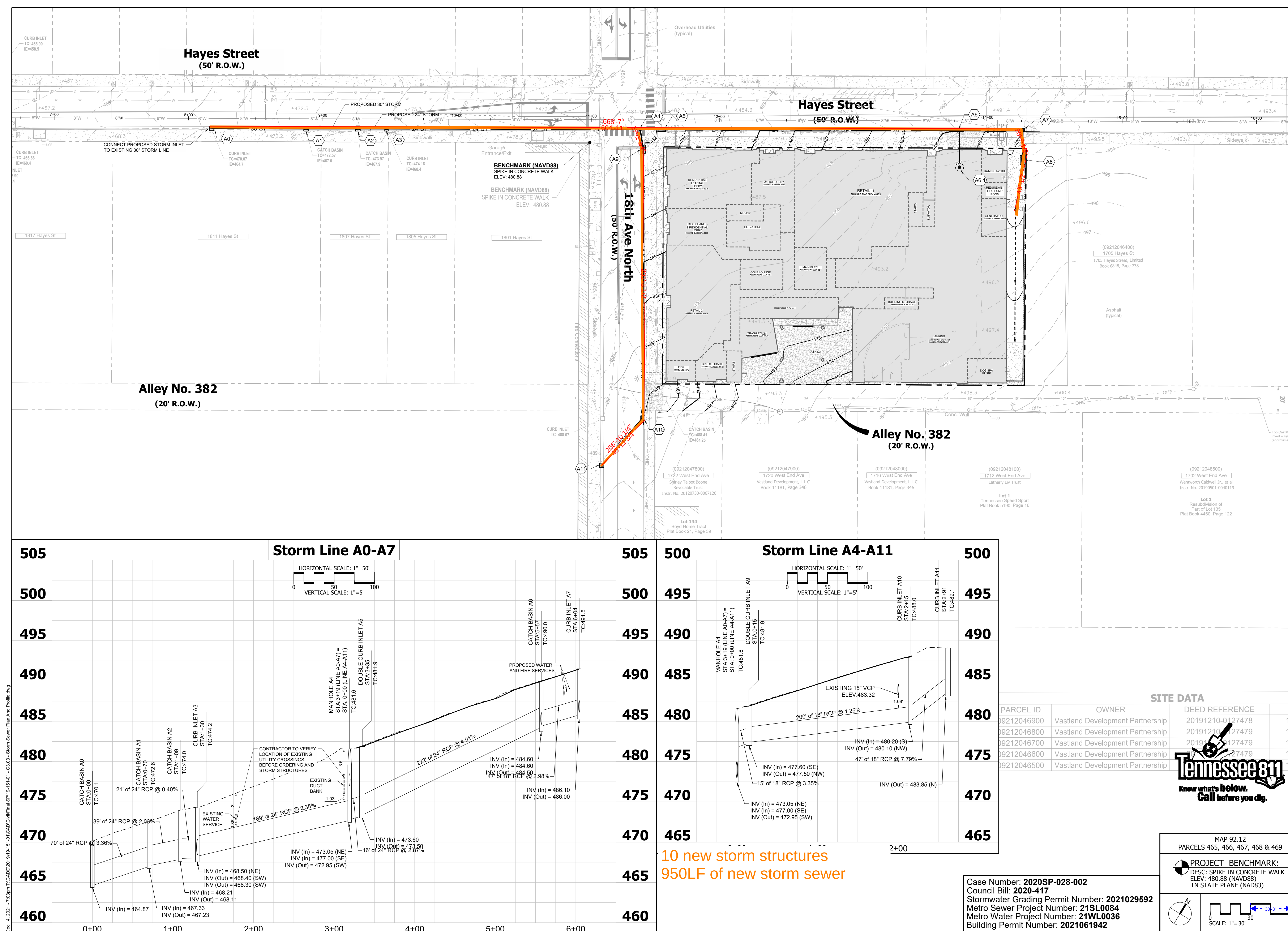
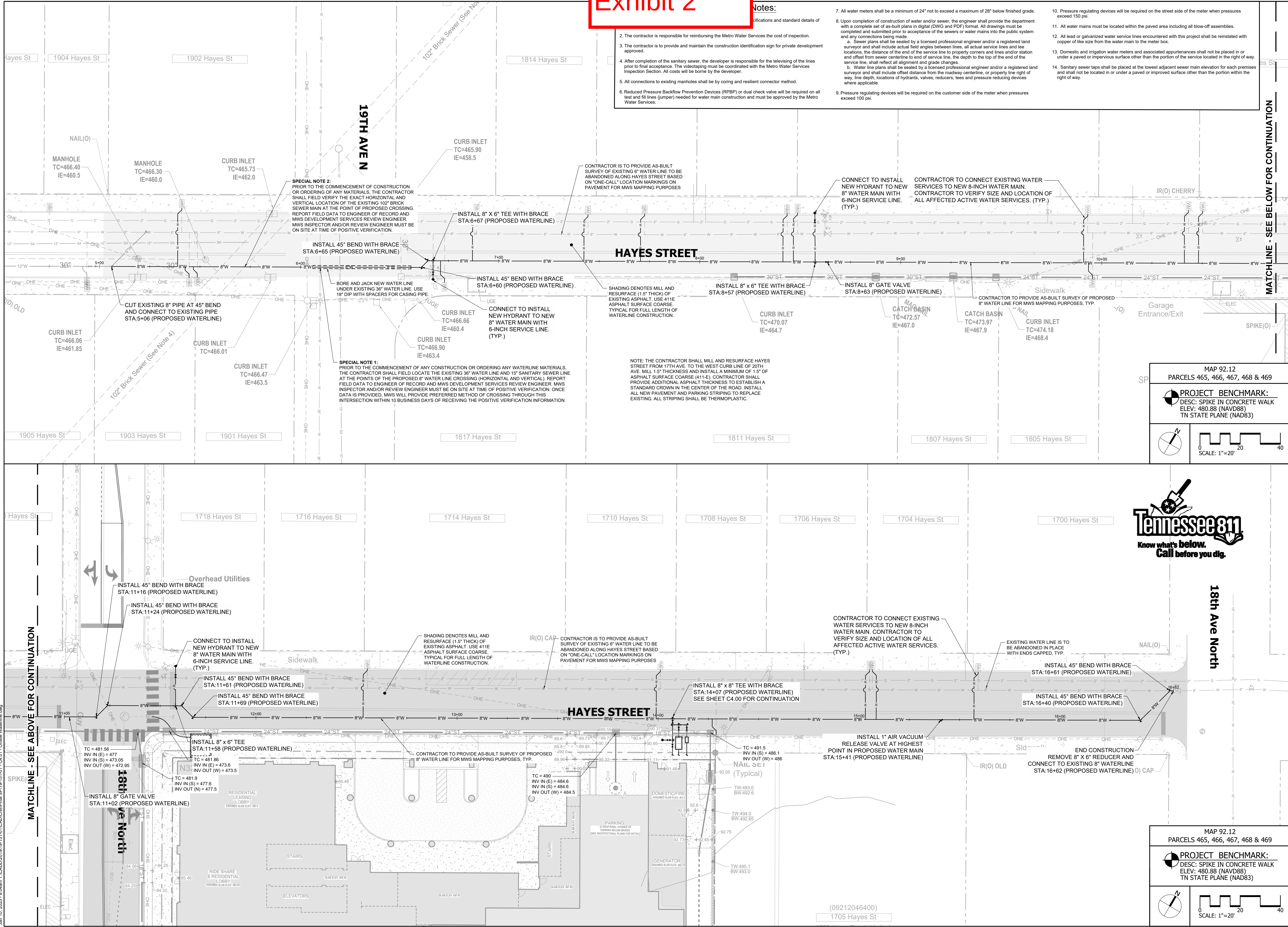


Exhibit 2



- Notes:
- ifications and standard details of
2. The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
 3. The contractor is to provide and maintain the construction identification sign for private development approved.
 4. After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The televising must be coordinated with the Metro Water Services Inspection Section. All costs will be borne by the developer.
 5. All connections to existing manholes shall be by coring and resilient connector method.
 6. Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.

7. All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
8. Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans in digital (DWG and PDF) format. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
 - a. Sewer plans shall be sealed by a licensed professional engineer and/or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, shall reflect all alignment and grade changes.
 - b. Water line plans shall be sealed by a licensed professional engineer and/or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable.
9. Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.

10. Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
11. All water mains must be located within the paved area including all blow-off assemblies.
12. All lead or galvanized water service lines encountered with this project shall be reinstated with copper of like size from the water main to the meter box.
13. Domestic and irrigation water meters and associated appurtenances shall not be placed in or under a paved or impervious surface other than the portion of the service located in the right of way.
14. Sanitary sewer taps shall be placed at the lowest adjacent sewer main elevation for each premises and shall not be located in or under a paved or improved surface other than the portion within the right of way.



CSDG
Planning | Engineering
Landscape Architecture
2305 Kline Ave, Ste 300
Nashville, TN 37211
615.248.9999
csdgtm.com

SEAL





VOCE
HOTEL & RESIDENCES
NASHVILLE

1717 Hayes St.
Nashville, Davidson Co,
Tennessee 37203



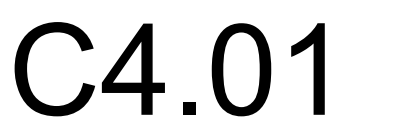
ISSUE SET:
Final Specific Plan

ISSUE DATE: March 31, 2021

REVISION SCHEDULE:		
No.	Description	Date
1	Stormwater Comments	05/11/21
2	Final SP Resubmittal	05/27/21
3	MWS Resubmittals	07/16/21
4	MWS Resubmittals	08/17/21
5	Final SP Resubmittal	09/14/21
6	Building Permit Review	10/29/21
7	IFC 2	12/13/21
8	Building Footprint Revision	10/31/24
9	Update Building Per Owner	12/30/24
10	Public Waterline Revision	01/07/25

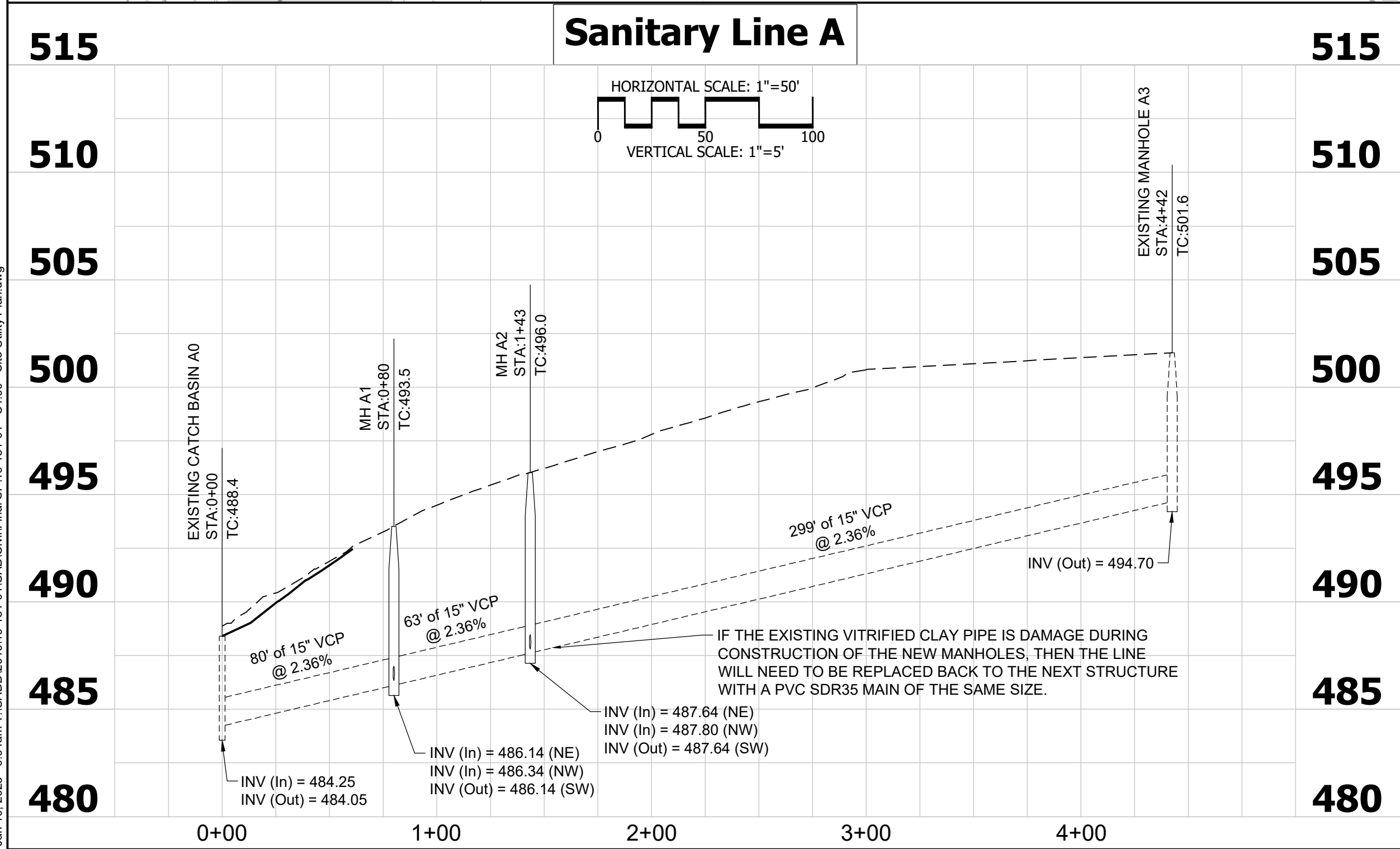
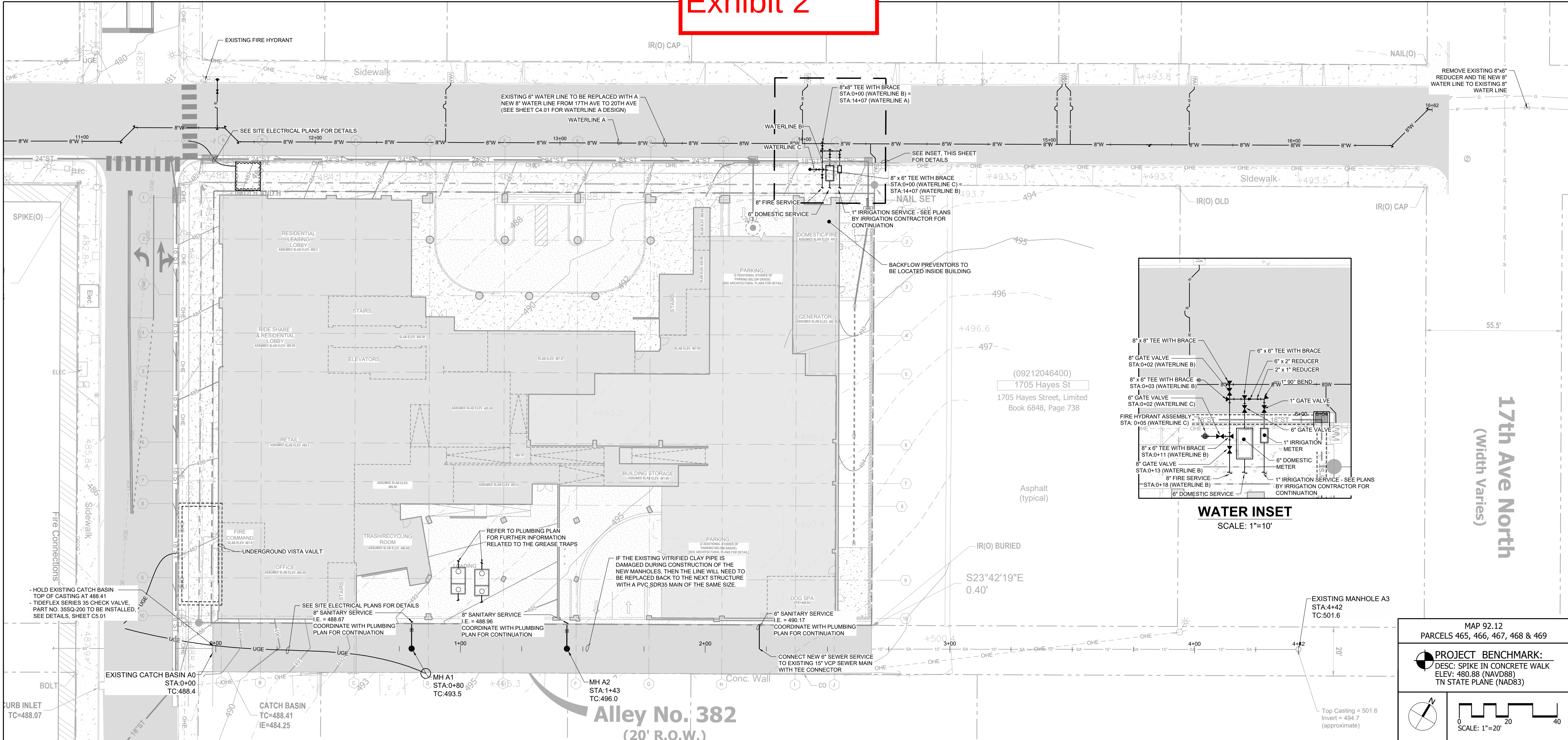
REVISION: | DRAWN: AM | CHECKED: KG

OFFSITE WATERLINE



C4.01
PROJECT NO.: 19-151-01

Exhibit 2



Metro Water & Sewer Notes:

- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The televising must be coordinated with the Metro Water Services Inspection Section. All costs will be borne by the developer.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans in digital (DWG and PDF) format. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
 - Sewer plans shall be sealed by a licensed professional engineer and/or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, shall reflect all alignment and grade changes.
 - Water line plans shall be sealed by a licensed professional engineer and/or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- All water mains must be located within the paved area including all blow-off assemblies.
- All lead or galvanized water service lines encountered with this project shall be reinstated with copper of like size from the water main to the meter box.
- Domestic and irrigation water meters and associated appurtenances shall not be placed in or under a paved or impervious surface other than the portion of the service located in the right of way.
- Sanitary sewer taps shall be placed at the lowest adjacent sewer main elevation for each premises and shall not be located in or under a paved or improved surface other than the portion within the right of way.

Site Utility Notes:

- The sanitary sewer line shall be PVC-SDR 35. The domestic water line and the fire service line shall be class 52 ductile iron pipe.
- Water meters shall be no deeper than 24" from the top of meter to proposed finished grade unless otherwise required by the local water department.
- Prior to submitting his bid, the contractor will be solely responsible for contacting owners of all affected utilities in order to determine the extent to which utility relocations and/or adjustments will have upon the schedule of work for the project. While some work may be required around utility facilities that will remain in place, other utility facilities may need to be adjusted concurrently with the contractor's operations.
- The contractor shall comply with all pertinent provisions of the manual of Accident Prevention and Construction issued by AGC of America.
- Provide a minimum 36" of cover over all water lines unless required otherwise by the local water department. Provide 48" of cover over the private fire service line.
- All water lines, sewer lines, and appurtenances shall be of materials and construction that conform to the local water department/district's requirements and specifications.
- Coordinate the exact location of all utilities entering the building with the plumbing plans.
- Safeguard existing utilities from damage during construction of this project. In the event that special equipment is required to work over and around the utilities, the contractor will be required to furnish such equipment at no additional cost to the owner.
- Reduced Pressure Backflow Preventer (RPBP) or dual check valves will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the local water department/district.
- All connections to existing manholes shall be by the coring and resilient seal method.
- Before connections are made into existing utilities, the new lines are to be flushed and tested by the contractor in accordance with the local water department/district specifications.
- The contractor shall provide all horizontal and vertical bends to attain the alignment indicated on the plans. Provide vertical bends where necessary to allow water lines to pass under or over other utility lines. (All bends and braces needed may not be actually shown). Provide bracing and/or ridding at all bends and tees as required by local utility department/district.
- Contractor shall mark the location of all new PVC lines with #6 wire.
- The location of existing utilities shown on these plans are approximate only. The contractor shall notify each individual utility owner of his plan of operation in the area of the utilities. Prior to commencing work, the contractor shall contact the utility owners and request them to properly locate their respective utility on the ground in the area of private utility lines. The contractor shall have an underground locator mark the location of the existing lines. This notification shall be given at least three (3) business days prior to commencement of operations around the utility.
- Fire hydrant assemblies include the appropriate sized tee (with kicker), 6" line to hydrant, 6" gate valve (with valve box), and fire hydrant (with kicker). Hydrants shall be installed at locations within 7 feet of the curb, (minimum of 2 feet behind curb).
- Where drainage or utility lines occur in proposed fill areas, the fill material shall be placed and compacted in accordance with the specifications and the Geotechnical Engineer recommendations prior to installation of drainage or utility lines. Fill is to be inspected by a professional Geotechnical Engineer testing firm employed by the owner. Results of the test shall be furnished to the owner's representative. Contractor shall pay for any retesting.
- The contractor shall field verify the exact horizontal and vertical location of existing manholes, sanitary sewer lines, and water lines at the point of connection prior to the commencement of construction or ordering materials, report any discrepancies to the engineer immediately.
- Repair existing pavement, curbs, walks, landscaping, etc. that are damaged by construction activities to a like new condition at no additional cost to the owner.
- Sanitary sewer services shall be 6" diameter PVC (SDR 35) at a minimum slope of 1.0% unless shown otherwise on the drawings. Lines shall start 5' beyond the buildings. Coordinate connection points with the building plumbing drawings. Provide a minimum 30" of cover over all sewer services in grass areas and 48" of cover in paved areas.
- Some utilities can be located by call the "Tennessee One Call" System, Inc. The contractor shall call "Tennessee One Call" (1-800-351-1111) 72 hours prior to proceeding with any excavation.
- The concrete caps and encasements on water and sewer lines shall be a minimum of 6" thick. Use 3000 PSI concrete.
- The contractor shall be responsible for coordinating the sequencing of construction for all utility lines so that water lines do not conflict with sanitary sewers, sanitary sewer services, storm sewers, or any other utility or structure, existing or proposed.
- All trenches cut in existing roads or drives shall utilize a clean saw cut and shall be backfilled (100%) to final sub grade with #67 stone. Repair pavement in accordance with the local governing agency requirements.
- Existing manholes located in fill/cut areas shall be adjusted to ensure that the top of casting is flush with the finished grade.
- The contractor shall maintain 10 feet horizontal separation between sanitary sewer lines and water lines. Where these criteria cannot be met, the contractor shall maintain 18" vertical separation between water and sewer lines.
- The fire line shall be installed by a sprinkler contractor licensed in the State of Tennessee. The fire line shall be flushed and tested in accordance with NFPA requirements.

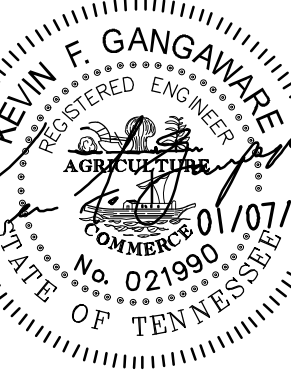


CSDG

Planning | Engineering
Landscape Architecture

2305 Kline Ave, Ste 300
Nashville, TN 37211
615.248.9999
csdgtm.com

SEAL



1717 Hayes St.
Nashville, Davidson Co,
Tennessee 37203

MAP 92.12
PARCELS 465, 466, 467, 468 & 469

PROJECT BENCHMARK:
DESC: SPIKE IN CONCRETE WALK
ELEV: 480.88 (NAVD83)
TN STATE PLANE (NAD83)



ISSUE SET:

Final Specific Plan

ISSUE DATE: March 31, 2021

REVISION SCHEDULE:		
No.	Description	Date
1	Stormwater Comments	05/11/21
2	Final SP Resubmittal	05/27/21
3	MWS Resubmittals	07/16/21
4	MWS Resubmittals	08/17/21
5	Final SP Resubmittal	09/14/21
6	Building Permit Review	10/29/21
7	IFC 2	12/13/21
8	Building Footprint Revision	10/31/24
9	Update Building Per Owner	12/30/24
10	Public Waterline Revision	01/07/25

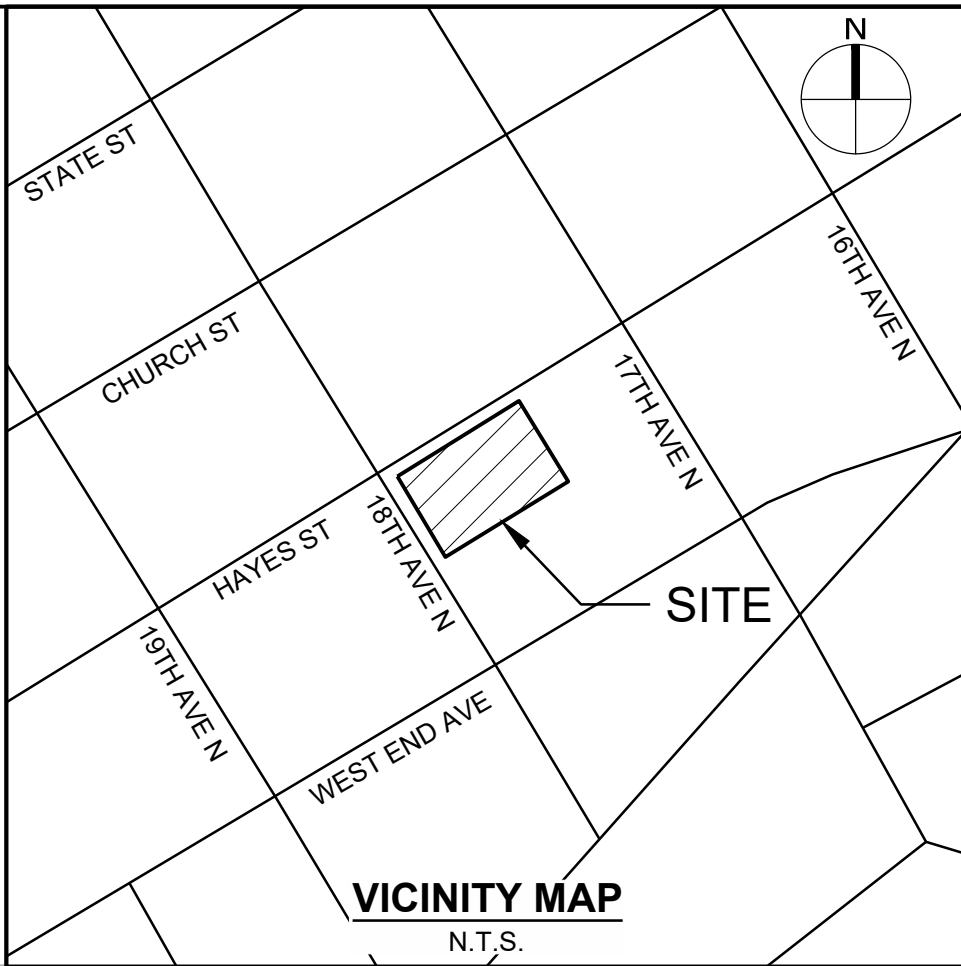
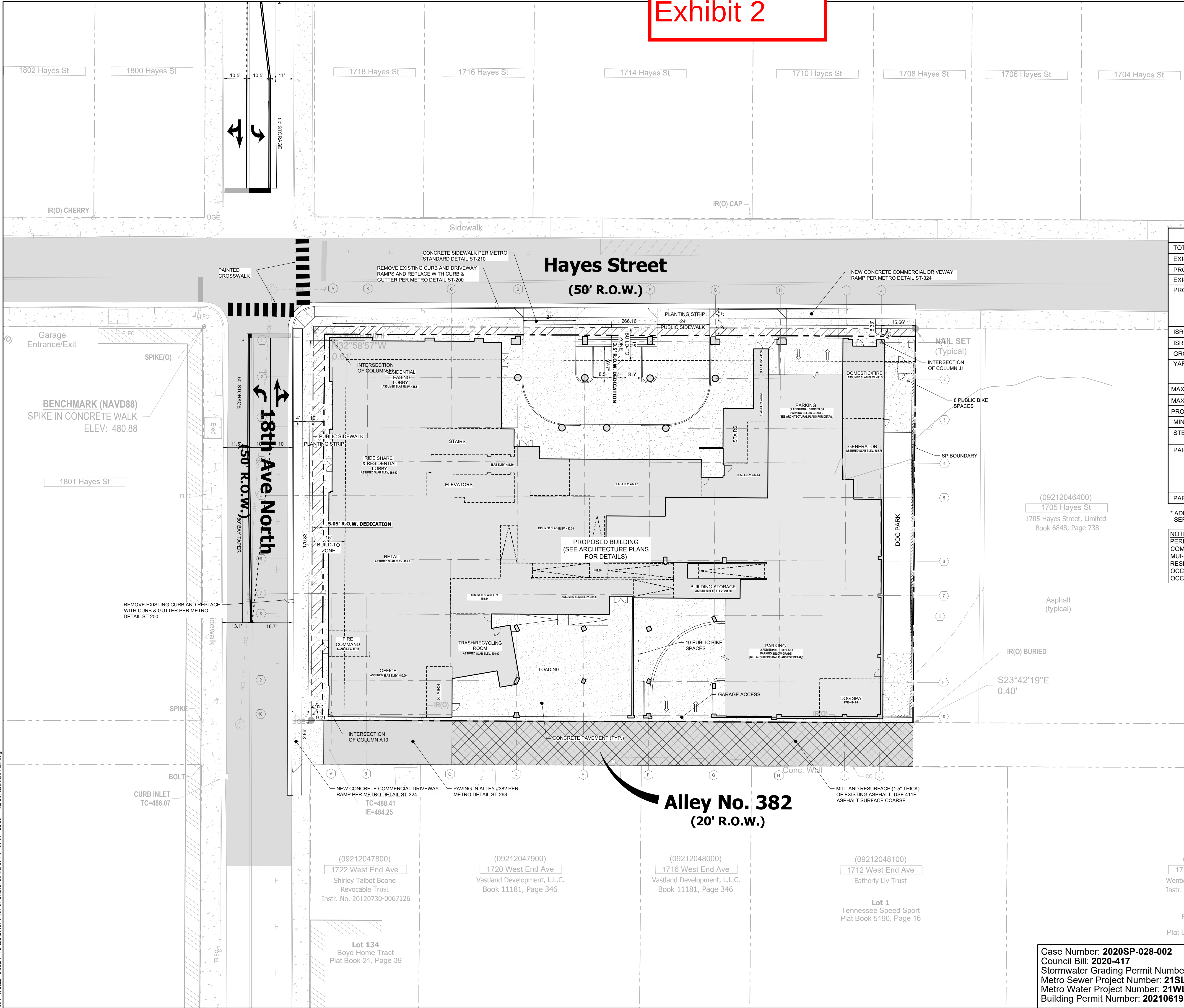
REVISION: | DRAWN: AM | CHECKED: KG

SITE UTILITY PLAN

C4.00

PROJECT NO.: 19-151-01

Exhibit 2



SITE DATA TABLE	
TOTAL SITE ACRES	1.15± Ac. (50,172 sq. ft.)
EXISTING ZONING	MUI-A
PROPOSED ZONING	SP
EXISTING USES	OFFICE / PARKING
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL OR HOTEL - 308 UNITS COMMERCIAL - 9,229 SF OFFICE - 56,850 SF (SEE BELOW FOR LAND USE CONDITION NOTE)
ISR (ALLOWED)	1.00
ISR (PROPOSED)	0.97
GROSS FLOOR AREA (PROPOSED)	434,698 sq. ft.
YARD REQUIREMENTS	STREET: 0'-15' BUILD TO SIDE YARD: NONE REAR YARD: NONE
MAX HEIGHT ALLOWED IN BUILD TO ZONE	95' IN 8 STORIES
MAX HEIGHT PROPOSED IN BUILD TO ZONE	78' IN 7 STORIES
PROPOSED BUILDING HEIGHT	286'-8" (25 STORIES)
MIN. STEP BACK (REQUIRED)	15'
STEP BACK (PROPOSED)	HAYES ST.: 18.9' 18TH AVE: 24'
PARKING (REQUIRED)	UZO DISTRICT PARKING REQUIREMENTS HOTEL/MOTEL: 313 spaces RETAIL: 47 spaces OFFICE: 115 spaces TOTAL: 468 spaces
PARKING (PROPOSED) *	695 Spaces

* ADDITIONAL PARKING SPACES MAY BE PROPOSED IN FINAL SP TO SERVE ADJACENT OR NEARBY PROPERTIES.

NOTE:
PERMITTED USES SHALL BE LIMITED TO 105,000 SQUARE FEET OF COMMERCIAL USE CONSISTENT WITH THE USES PERMITTED IN THE MUI-A ZONING DISTRICT AND 310 HOTEL OR MULTI-FAMILY RESIDENTIAL UNITS. SHORT TERM RENTAL PROPERTIES - OWNER OCCUPIED AND SHORT-TERM RENTAL PROPERTIES - NOT-OWNER OCCUPIED SHALL BE PROHIBITED.

CSDG
Planning | Engineering
Landscape Architecture
2305 Kline Ave, Ste 300
Nashville, TN 37211
615.248.9999
csdgt.com

SEAL

VOCE
HOTEL & RESIDENCES
NASHVILLE

1717 Hayes St.
Nashville, Davidson Co,
Tennessee 37203

ISSUE SET:

Final Specific Plan

ISSUE DATE: March 31, 2021

REVISION SCHEDULE:		
No.	Description	Date
1	Stormwater Comments	05/11/21
2	Final SP Resubmittal	05/27/21
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4	MWS Resubmittals	08/17/21
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7	IFC 2	12/13/21
8	Building Footprint Revision	10/31/24
9	Update Building Per Owner	12/30/24
10	Public Waterline Revision	01/07/25

REVISION:	DRAWN:	CHECKED:
	AM	KG

FINAL DEVELOPMENT PLAN

C2.00

PROJECT NO.: 19-151-01

Case Number: **2020SP-028-002**
Council Bill: **2020-417**
Stormwater Grading Permit Number: **2021029592**
Metro Sewer Project Number: **21SL0084**
Metro Water Project Number: **21WL0036**
Building Permit Number: **2021061942**

MAP 92.12
PARCELS 465, 466, 467, 468 & 469

PROJECT BENCHMARK:
DESC: SPIKE IN CONCRETE WALK
ELEV: 480.88 (NAVD88)
TN STATE PLANE (NAD83)

SCALE: 1"=20'

Exhibit 3

SYMBOL LEGEND			
Symbol	Denotes	Symbol	Denotes
○	IRON ROD (OLD)	○	UTILITY POLE
●	IRON ROD (NEW)	⊗	UTILITY POLE WITH LIGHT
⊕	BENCHMARK	⊗	LIGHT POLE
⊙	SEWER MANHOLE	⊙	SIGN POST
○	CLEAN OUT	—X—	FENCE
□	CATCH BASIN/CURB INLET	—OH—	OVERHEAD UTILITY LINE
⊕	FIRE HYDRANT	—W—	WATER LINE
⊕	WATER METER	—SA—	SANITARY SEWER LINE
⊕	WATER VALVE	—G—	NATURAL GAS LINE
⊕	GAS VALVE	—UG—	UNDERGROUND ELECTRIC
⊕	GAS METER	—UGT—	UNDERGROUND TELEPHONE
□	UTILITY PULL BOX	---	PROPERTY/PARCEL LINE
ASPHALT PATTERN		CONCRETE PATTERN	
BUILDING PATTERN			

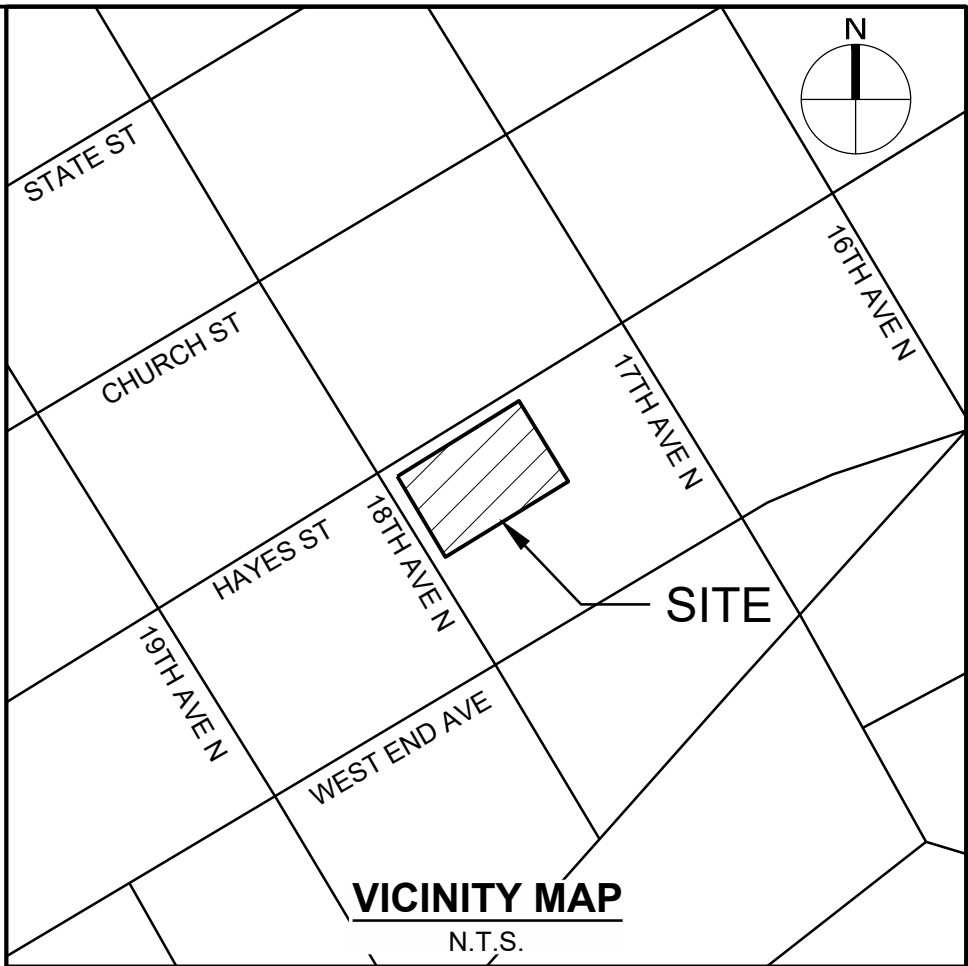
SITE DATA			
PARCEL ID	OWNER	DEED REFERENCE	ADDRESS
09212046900	Vastland Development Partnership	20191210-0127478	1719 Hayes Street
09212046800	Vastland Development Partnership	20191210-0127479	1715 Hayes Street
09212046700	Vastland Development Partnership	20191210-0127479	1713 Hayes Street
09212046600	Vastland Development Partnership	20191210-0127479	1711 Hayes Street
09212046500	Vastland Development Partnership	20191210-0127477	1709 Hayes Street

Existing Conditions Note

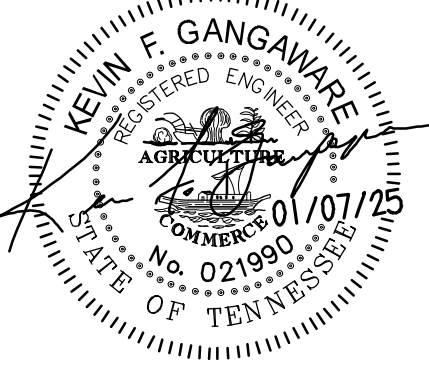
Base information was taken from a survey prepared by Clint Elliott Survey, dated January 15, 2021. Civil Site Design Group, P.L.L.C. and any of their consultants shall not be held responsible for the accuracy and/or completeness of that information shown hereon or any errors or omissions resulting from such.

F.E.M.A. Note

According to F.E.M.A. F.I.R.M. Map number 47037C0243H, effective date April 5, 2017, this site lies within Zone X which is determined to be outside the 500 year floodplain.



6 (\$ /



1717 Hayes St.
Nashville, Davidson Co,
Tennessee 37203

ISSUE SET:

Final Specific Plan

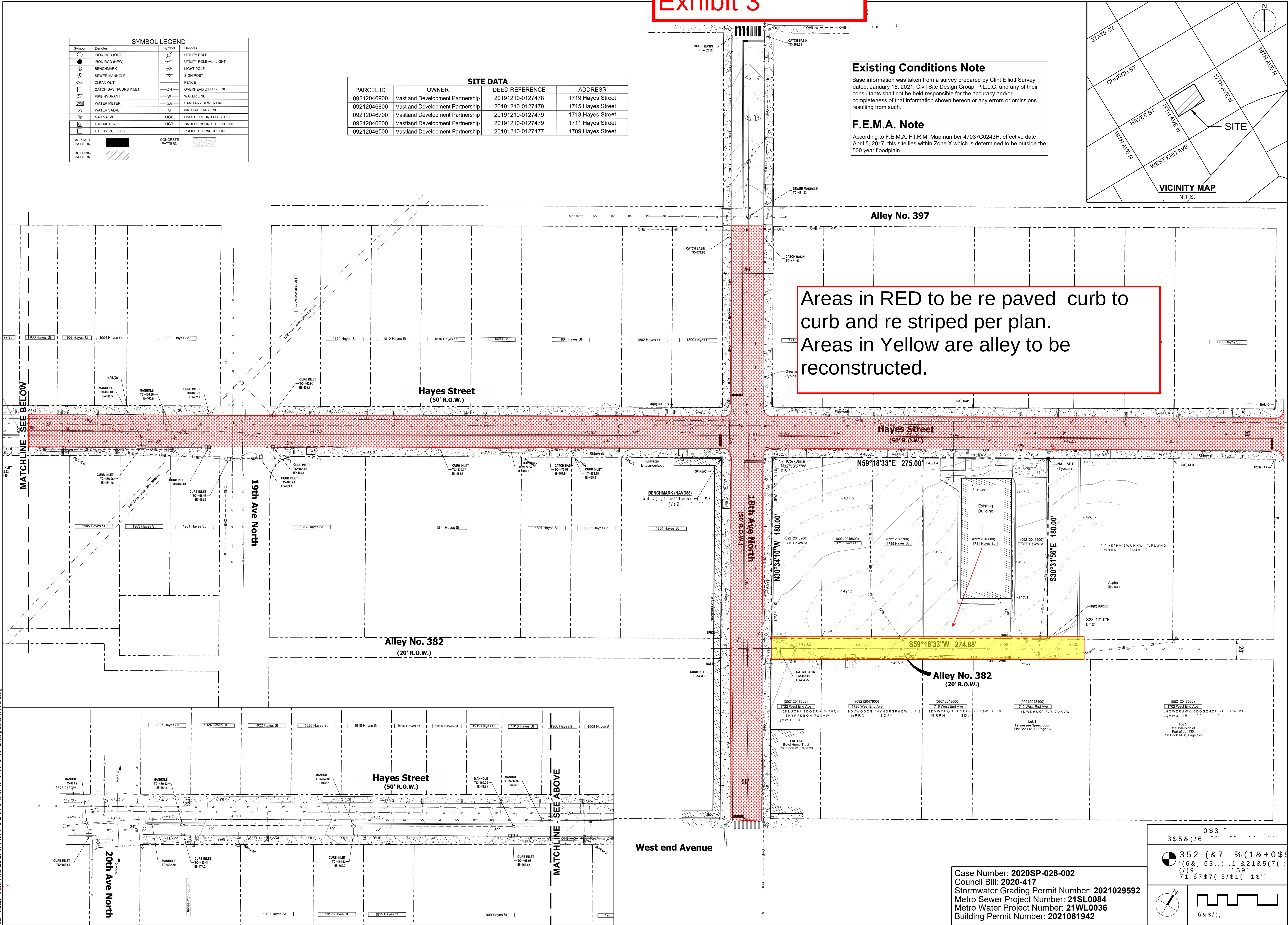
ISSUE DATE: March 31, 2021

REVISION SCHEDULE:		
No.	Description	Date
1	Stormwater Comments	05/11/21
2	Final SP Resubmittal	05/27/21
3	MWS Resubmittals	07/16/21
4	MWS Resubmittals	08/17/21
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9	Update Building Per Owner	12/30/24
10	Public Waterline Revision	01/07/25

REVISION: DRAWN: AM CHECKED: KG

C1.00

PROJECT NO.:



Case Number: 2020SP-028-002
Council Bill: 2020-417
Stormwater Grading Permit Number: 2021029592
Metro Sewer Project Number: 21SL0084
Metro Water Project Number: 21WL0036
Building Permit Number: 2021061942

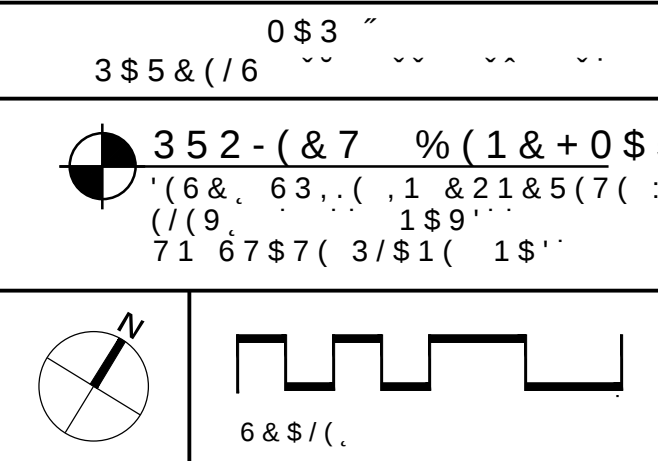
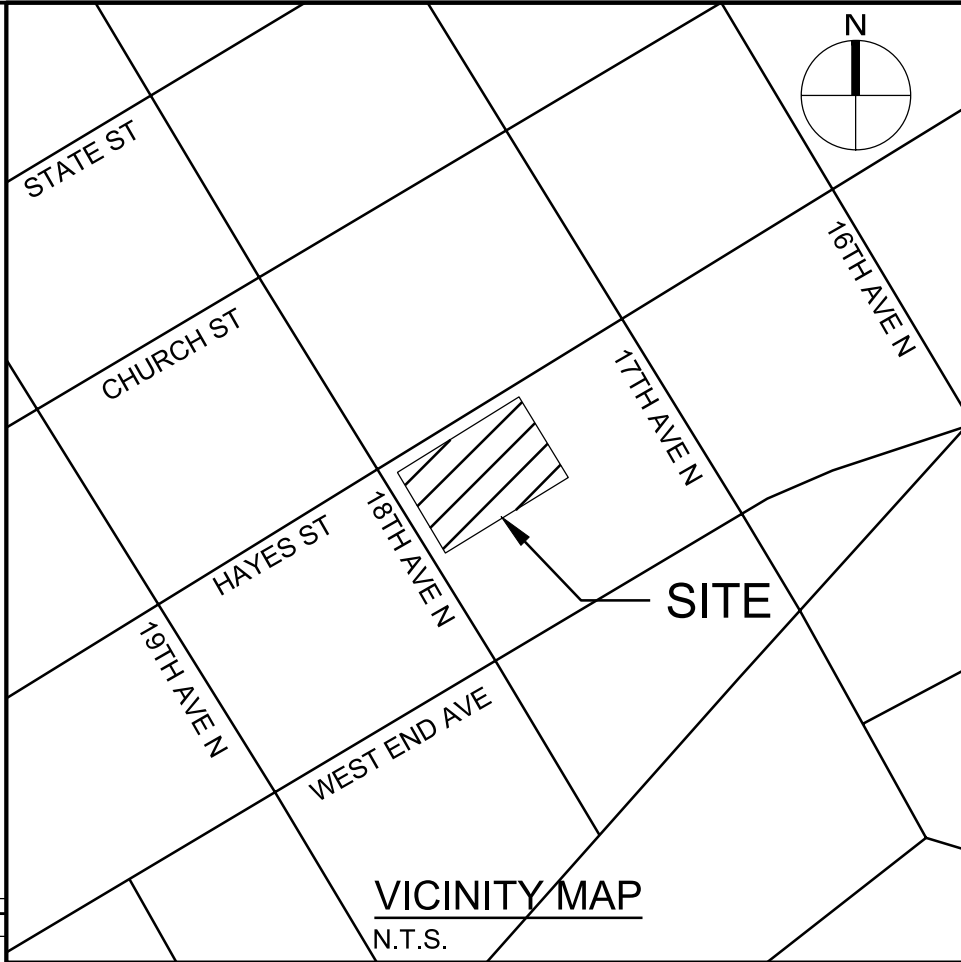


Exhibit 4



SITE DATA TABLE	
TOTAL SITE ACRES	1.15± Ac. (50,172 sq. ft.)
EXISTING ZONING	SP
PROPOSED ZONING	SP
EXISTING USES	PARKING
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL OR HOTEL - UP TO 310 UNITS COMMERCIAL - UP TO 15,000 SF OFFICE - UP TO 90,000 SF (SEE BELOW FOR LAND USE CONDITION NOTE)
ISR (ALLOWED)	1.00
ISR (PROPOSED)	0.97
PROPOSED FLOOR AREA	401,000 sq. ft.
YARD REQUIREMENTS	STREET: 0'-15' BUILD TO SIDE YARD: NONE REAR YARD: NONE
MAX HEIGHT ALLOWED IN BUILD TO ZONE	95' IN 8 STORIES
TOTAL HEIGHT (MAX)	__' / __ STORIES
MIN. STEP BACK (REQUIRED)	15'
STEP BACK (PROPOSED)	HAYES ST: 18.9' 18TH AVE: 24'
PARKING (REQUIRED)	UZO DISTRICT: NO PARKING IS REQUIRED
PARKING (PROPOSED) *	DEVELOPER WILL MEET OR EXCEED REQUIRED PARKING.

NOTE: PERMITTED USES SHALL BE LIMITED TO 105,000 SQUARE FEET OF COMMERCIAL USE CONSISTENT WITH THE USES PERMITTED IN THE MUKA ZONING DISTRICT AND 310 HOTEL OR MULTI-FAMILY RESIDENTIAL UNITS. SHORT TERM RENTAL PROPERTIES - OWNER OCCUPIED AND SHORT-TERM RENTAL PROPERTIES - NOT-OWNER OCCUPIED SHALL BE PROHIBITED.

Parking Lot adjacent to be used for lay down/trailers and parking



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Planning | Engineering
Landscape Architecture
2305 Kline Ave, Ste 300
Nashville, TN 37211
615.248.9999
csdgt.com

EAL



FOR PLANNING COMMISSION REVIEW
NOT FOR CONSTRUCTION

Preliminary Specific Plan for Vocé Midtown

1717 Hayes St.
Nashville, Davidson Co,
Tennessee 37203

ISSUE SET:
Preliminary
Specific Plan

ISSUE DATE: September 3, 2024

REVISION HISTORY:

[illegible]

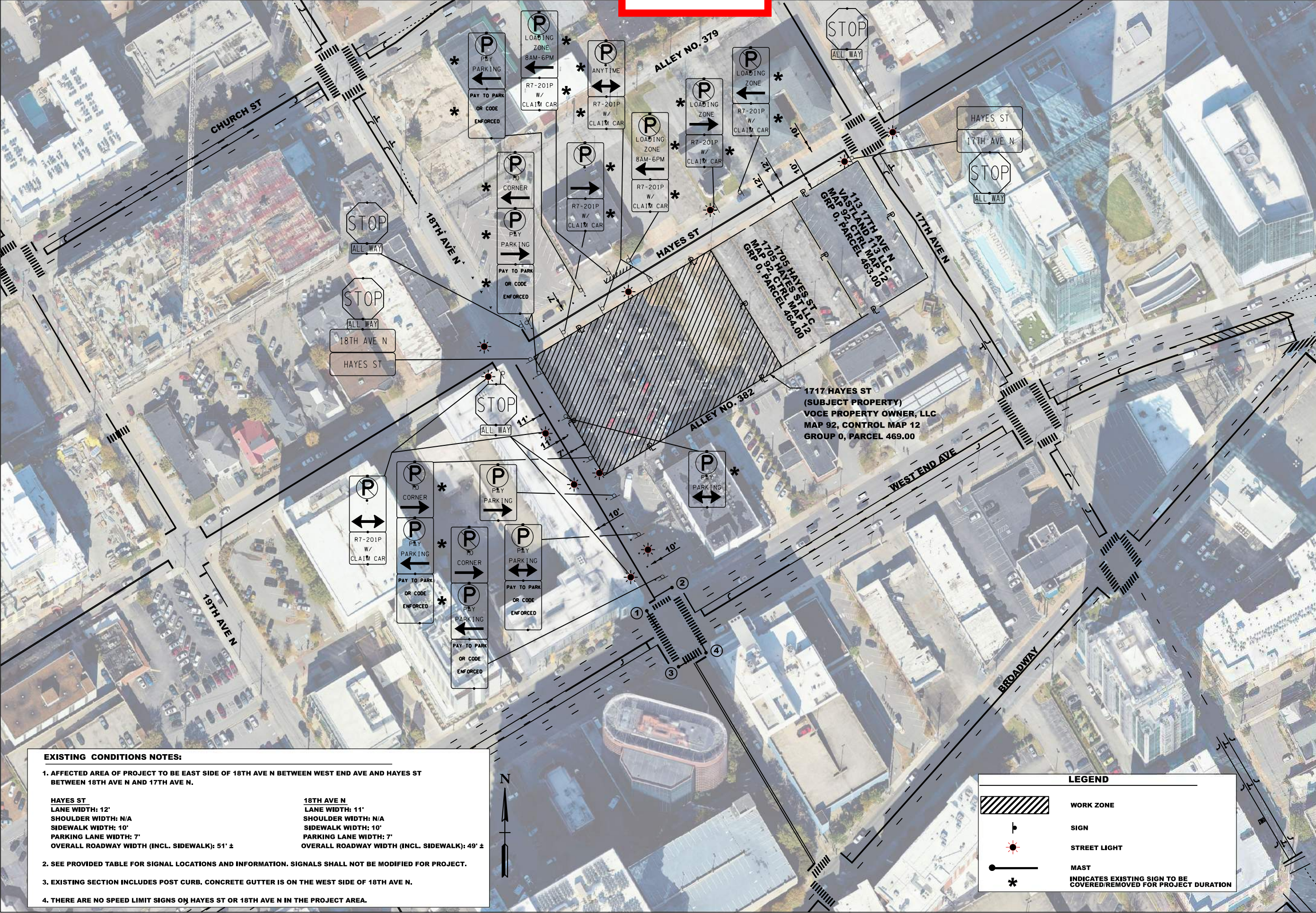
REVISION:	DRAWN: AM	CHECKED KG
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PRELIMINARY DEVELOPMENT PLAN

C2.00

PROJECT NO.: 19-151-01

Sep 04, 2024 - 12:40pm T:\CADD\2019\19-151-01\CADD\Civil\Prelim SP\19-151-01 - C2.00 - Preliminary Development Plan.dwg



EXISTING CONDITIONS NOTES:

1. AFFECTED AREA OF PROJECT TO BE EAST SIDE OF 18TH AVE N BETWEEN WEST END AVE AND HAYES ST BETWEEN 18TH AVE N AND 17TH AVE N.

HAYES ST
LANE WIDTH: 12'
SHOULDER WIDTH: N/A
SIDEWALK WIDTH: 10'
PARKING LANE WIDTH: 7'
OVERALL ROADWAY WIDTH (INCL. SIDEWALK): 51' ±

18TH AVE N
LANE WIDTH: 11'
SHOULDER WIDTH: N/A
SIDEWALK WIDTH: 10'
PARKING LANE WIDTH: 7'
OVERALL ROADWAY WIDTH (INCL. SIDEWALK): 49' ±

2. SEE PROVIDED TABLE FOR SIGNAL LOCATIONS AND INFORMATION. SIGNALS SHALL NOT BE MODIFIED FOR PROJECT.

3. EXISTING SECTION INCLUDES POST CURB. CONCRETE GUTTER IS ON THE WEST SIDE OF 18TH AVE N.

4. THERE ARE NO SPEED LIMIT SIGNS ON HAYES ST OR 18TH AVE N IN THE PROJECT AREA.

LEGEND

	WORK ZONE
	SIGN
	STREET LIGHT
	MAST
	INDICATES EXISTING SIGN TO BE COVERED/REMOVED FOR PROJECT DURATION

REVISIONS	
NO.	DESCRIPTION

COLLIER
ENGINEERING CO., INC.
CONSULTING • DESIGN • CONSTRUCTION

2949 NOLENSVILLE PIKE, NASHVILLE, TN 37211
PHONE: (615) 331-1441 FAX: (615) 331-1050

EXISTING CONDITIONS

1717 HAYES ST

TRAFFIC CONTROL PLAN

DAVIDSON COUNTY, TENNESSEE



DATE:	01/14/26
DESIGNED BY:	ADD
DRAWN BY:	ADD
SUPERVISED BY:	SGB
CHECKED BY:	JDS
NOT TO SCALE	
YEAR:	2026
SHEET NO:	1

Architect
The Preston Partnership, LLC
115 Perimeter Center Plaza, Suite 1000
Atlanta, Georgia 30346
Tel: 770.258.7246 Contact: Jim Fredrickson

Client
Vastland CO.
1720 West End Avenue, Suite 600
Nashville, TN 37203
Tel: 615.359.1720 Ext. 251 Contact: Mack McClung

Civil Engineer
Civil Site Design Group
2395 Kline Ave. Suite 300
Nashville, Tennessee 37211
Tel: 615.246.9999 Contact: Kevin Gangware

Parking/Security Consultant
HMA Consulting
6210 Wright Road, Suite 150
Stafford, TX 77477
Tel: 832.944.6020 Contact: Matthew Bels

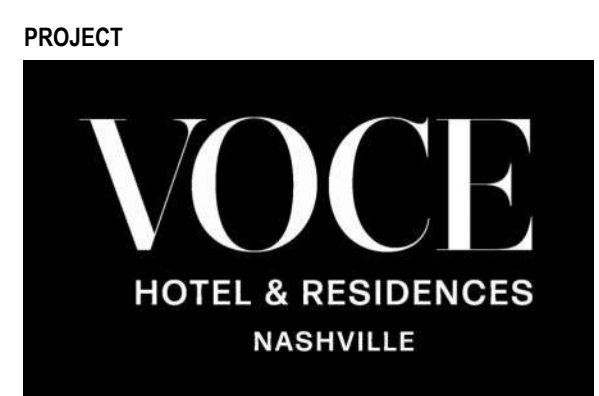
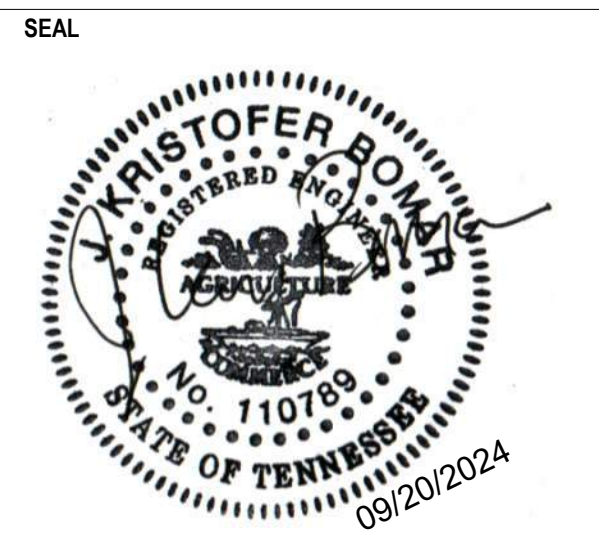
Parking Consultant
HWA Parking
3700 W Sam Houston Pkwy, South Suite 100
Houston, TX 77042
Tel: 888.708.7275 Contact: Matt Strickland

Structural Engineer
Structural Design Group
220 Great Circle Road, Suite 100
Nashville, Tennessee 37204
Tel: 615.255.5537 Contact: Kris Bomar

MEP Engineer
IC Thomasson Associates, Inc.
2550 Kraft Drive
Nashville, Tennessee 37204
Tel: 615.346.3577 Contact: Curt Williams

AV/IT Consultant
IC Thomasson Associates, Inc.
2550 Kraft Drive
Nashville, Tennessee 37204
Tel: 615.346.3400 Contact: Philip Sutherland

Landscape Architect
HDLA
207 Main Street
Nashville, Tennessee 37206
Tel: 615.327.4447 Contact: Chris Barkley

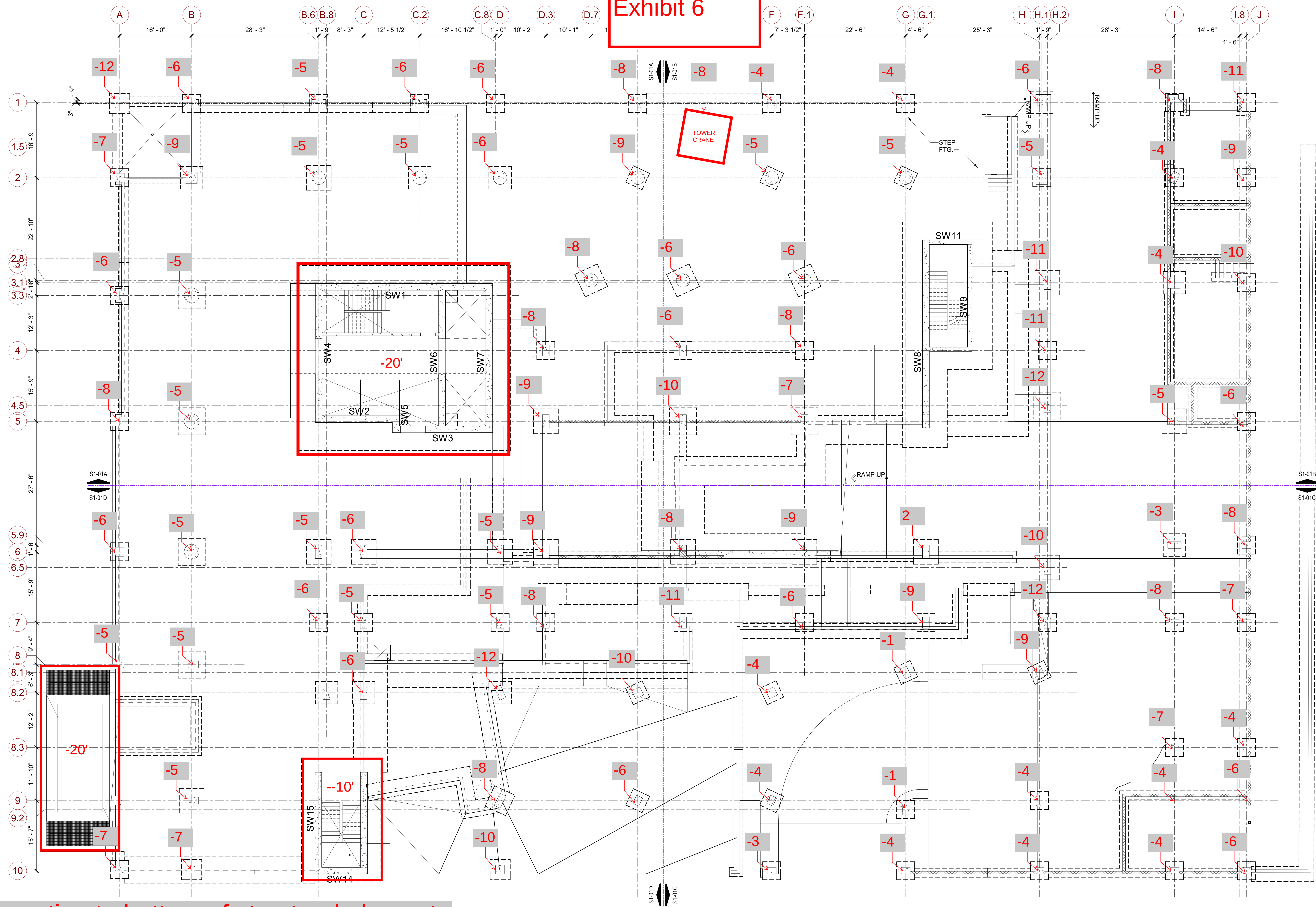


Hayes St. & 18th Ave N.
Nashville, Tennessee 37203

SHEET HISTORY	
ISSUE	DATE
DESIGN DEVELOPMENT	03/12/2021
PROGRESS PRINT	04/16/2021
FOUNDATION PERMIT PACKAGE	01/05/2022
IFC - CORE & SHELL	06/17/2021
IFC 2	12/13/2021
IFC 3	12/15/2023
IFC 4	09/20/2024

JOB NUMBER	1911801
SDG # 2020-177.00	
SHEET TITLE	LEVEL 01 - OVERALL FOUNDATION PLAN
SHEET NUMBER	S1-01
COMMENTS	FOR CONSTRUCTION

© The Preston Partnership, LLC



Excavation to bottom of structural elements
SUBGRADE ELEV - T/80KSF ROCK or
B/FOOTING

Foundation Notes

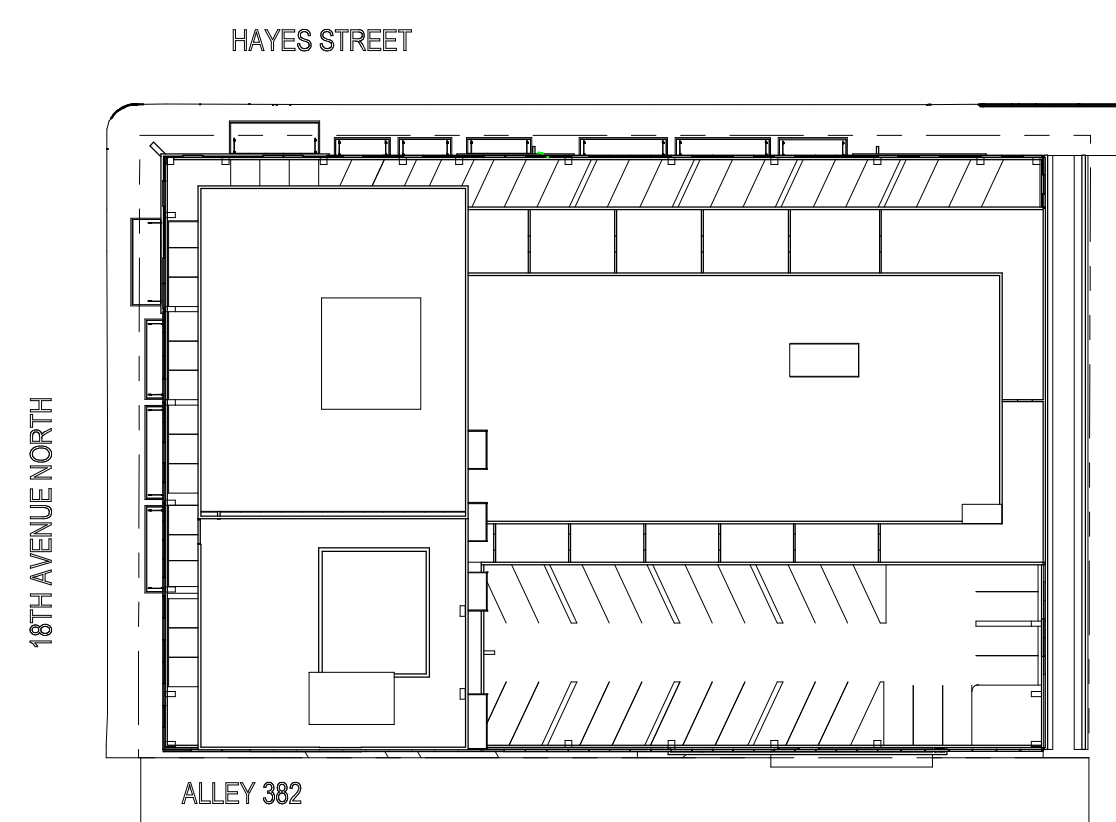
- SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
- ⊙ (F.D.) INDICATES FLOOR DRAIN LOCATION (TYP.) SLAB ELEVATION (---) NOTED AT FLOOR DRAINS IS WITH RESPECT TO THE REFERENCE ADJACENT SLAB ELEVATION, SHOWN AS EL. ---.
- REFER TO THE PLAN FOR THE TOP OF FOOTING ELEVATION. REFER TO THE FOUNDATION LEGEND FOR ADDITIONAL INFORMATION.
- ⊗ (X) INDICATES SLAB-ON-GRADE MARK - SEE SCHEDULE.

Foundation Legend

F4.0 → FOOTING MARK (SEE SCHEDULE 2/S2-01).
395.50
TOP OF FOOTING ELEVATION. SEE SCHEDULE 2/S2-01 FOR FOOTING THICKNESS. SEE DETAIL 1/S2-02 FOR ROCK BEARING CONDITIONS.

Typical Foundation Sheet and Detail References

SLAB-ON-GRADE DETAILS.....	1/S2-01	TYPICAL CMU WALL REINFORCING DETAILS.....	S2-20
CONTINUOUS FOOTING REINFORCING DETAILS.....	9/S2-02	CONCRETE WALL CONSTRUCTION/CONTRACTION JOINT DETAILS.....	6/S2-01
STEPPED FOOTING DETAILS.....	2/S2-02	CONCRETE COLUMN SCHEDULE.....	S4-00, S4-01, S4-02
TYPICAL RECESSED SLAB DETAILS.....	1/S2-01	SHEAR WALL ELEVATIONS.....	S3-01 THRU S3-04
ISOLATION JOINT DETAILS AT COLUMNS.....	5/S2-01	SHEAR WALL PLAN DETAILS.....	S3-05 THRU S3-08
THICKENED SLAB AT NON-LOADBEARING CMU WALLS.....	9/S2-20	SHEAR WALL SECTIONS AND DETAILS.....	S3-20, S3-21
TYPICAL COLUMN FOOTING SECTIONS.....	1/S2-02	REINFORCING DETAILS AT CONCRETE WALL OPENINGS.....	1/S3-20
COLUMN FOOTING SCHEDULE.....	2/S2-01	REINFORCING DETAILS AT CONCRETE WALL INTERSECTIONS AND CORNERS.....	2/S3-20

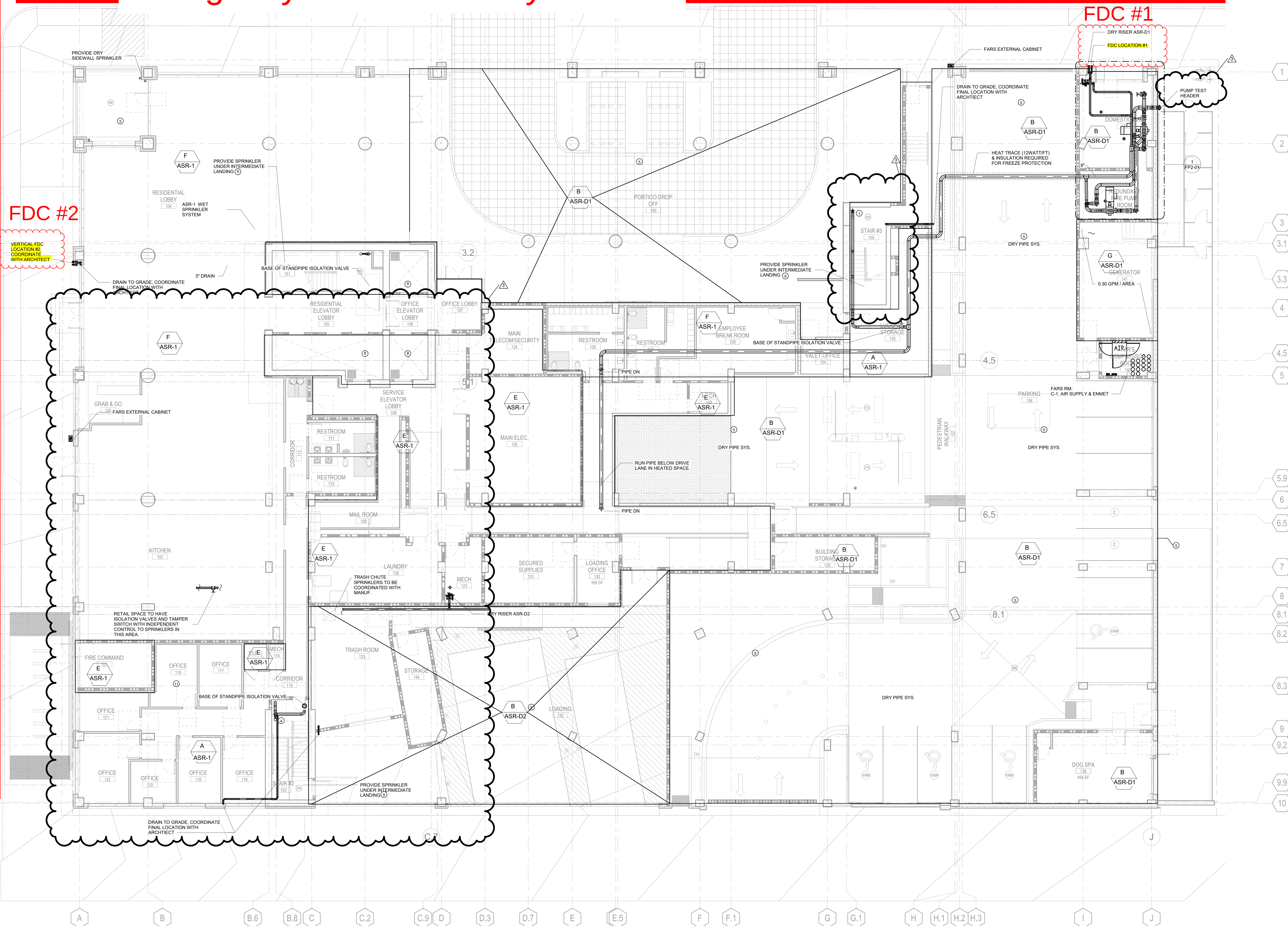


KEYPLAN

N.T.S.

Emergency Access on Hayes Street

Emergency Access on 18th Street

1 FIRE PROTECTION - LEVEL 01 AT 496
SCALE: 1/8" = 1'-0"

FIRE PROTECTION KEYED NOTES:

1. AUTOMATIC WET STANDPIPE #1
HOSE VALVES ON MAIN LANDINGS
2. COMBINED AUTOMATIC WET STANDPIPE #2
HOSE VALVES ON MAIN LANDINGS
3. AUTOMATIC WET STANDPIPE #3 (DRY RISER FEED) RISER MOUNTED AIR COMPRESSOR CP-1, REFER TO FP2-01 DETAIL 2
4. AUTOMATIC WET STANDPIPE #4
HOSE VALVES ON MAIN LANDINGS
5. UNCONDITIONED SPACE (TEMPERATURE < 40°F)
6. FLOW SWITCH AND TAMPERED VALVE FOR ELEVATOR PIT SPRINKLER FIRE PROTECTION, REFER TO FP2-00 DETAIL 8
7. PROVIDE SPRINKLER COVERAGE IN TRASH CHUTE IN ACCORDANCE WITH IBC 2012 903.2.1.2. PROVIDE DRY SPRINKLER TO TRASH OR LINEN CHUTE AND COORDINATE WITH CHUTE MANUFACTURER SPRINKLERS.
8. ELEVATORS: COORDINATE WITH ARCHITECT & IBC 3008.2.1 AUTOMATIC SPRINKLER SHALL NOT BE INSTALLED IN ELEVATOR MACHINE ROOMS, CONTROL ROOMS AND ELEVATOR HOISTWAYS OF OCCUPANT EVACUATION ELEVATORS. NO SPRINKLERS ARE REQUIRED IN ELEVATOR PIT IN ACCORDANCE WITH NFPA 13 & 13.5.2.
9. ENCLOSED STAIR: PROVIDE SPRINKLER UNDER INTERMEDIATE LEVEL AND TOP OF SHAFT.
10. TYPICAL GARAGE LAYOUT INDICATED ON LEVEL 07. RUN MAINS TO AVOID DRIVE LINES. PROVIDE MINIMUM CLEARANCE OF 7'2". TYPICAL OFFICE LAYOUT SHOWN ON LEVEL 09. TYPICAL RESIDENTIAL LAYOUT PROVIDED ON LEVEL 11, 22 & 24. CONTRACTOR TO OMIT SPRINKLERS IN PRIVATE BATHROOMS UNDER 50 SQFT AND RESIDENTIAL BALCONIES CONSTRUCTED WITH LIMITED OR NON COMBUSTIBLE MATERIALS IN ACCORDANCE WITH NFPA 13.
11. PROVIDE TENANT ISOLATION VALVES FOR RETAIL RESTAURANT SPACES. PROVIDE SPRINKLER DISTRIBUTION OF THE AREA TO ALLOW MODIFICATION WITHOUT AFFECTING OTHER AREAS.

PRESTON

Architect
The Preston Partnership, LLC
115 Perimeter Center Plaza, Suite 1000
Atlanta, Georgia 30346
Tel: 770.269.7246 Contact: Jim Fredrickson

Client
Vasland CO.
1720 West End Avenue, Suite 600
Nashville, TN 37203
Tel: 615.355.1720 Ext. 251 Contact: Mack McClung

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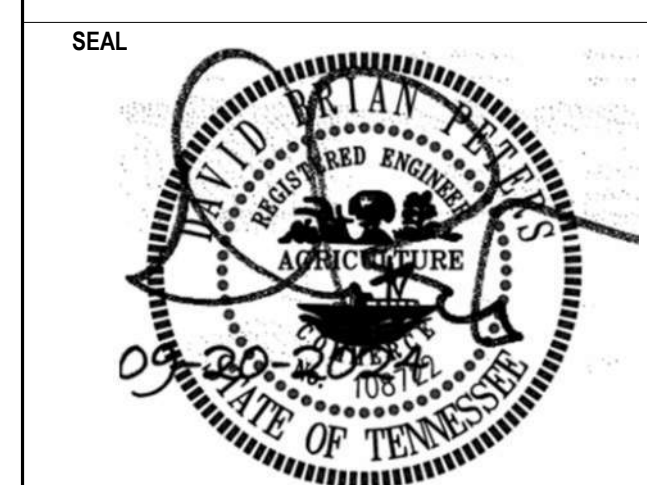
Parking Consultant
HWA Parking
3700 W. Sam Houston Pkwy. South Suite 100
Houston, TX 77042
Tel: 888.703.7275 Contact: Matt Strickland

Structural Engineer
Structural Design Group
220 Great Circle Road Suite 189
Nashville, Tennessee 37203
Tel: 615.255.5537 Contact: Kris Bomer

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IC Thomasson Associates, Inc.
2505 Kraft Drive
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Tel: 615.346.3400 Contact: Philip Sutherland

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Tel: 615.346.3400 Contact: Philip Sutherland

Landscape Architect
HDLA
507 Main Street
Nashville, Tennessee 37206
Tel: 615.327.4447 Contact: Chris Barkley



PROJECT
VOCE
HOTEL & RESIDENCES
NASHVILLE

1717 Hayes St.
Nashville, Tennessee 37203

SHEET HISTORY	
ISSUE	DATE
1. DESIGN DEVELOPMENT	03/12/2021
2. IFC - CORE & SHELL	09/17/2021
3. FOUNDATION PERMIT PACKAGE	01/05/2022
4. IFC 3	12/15/2023
5. IFC 4	09/20/2024

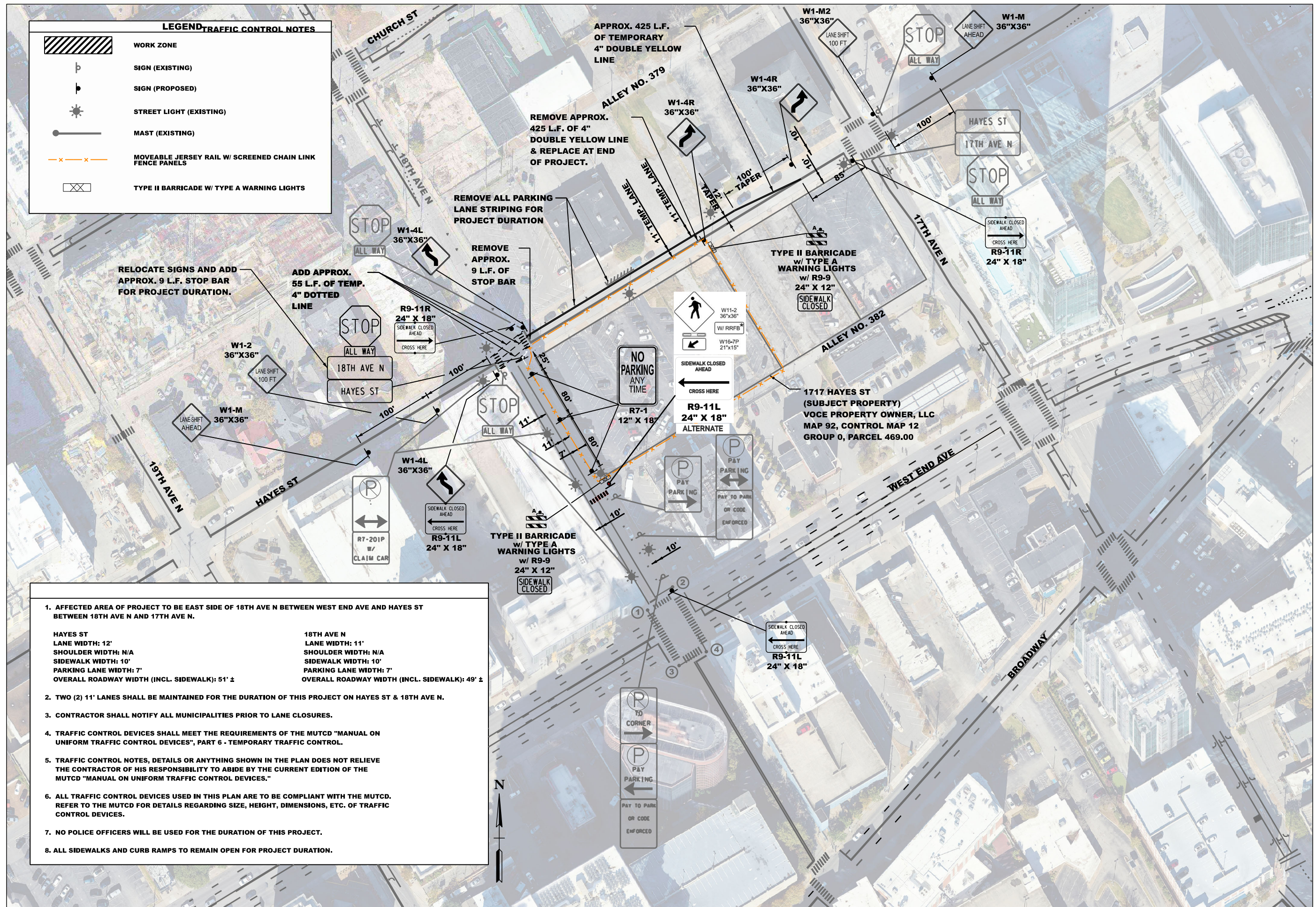
JOB NUMBER
1911801

SHEET TITLE
FIRE PROTECTION - OVERALL
FLOOR PLAN - LEVEL 01

SHEET NUMBER
FP1-01

COMMENTS

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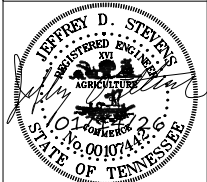
1. AFFECTED AREA OF PROJECT TO BE EAST SIDE OF 18TH AVE N BETWEEN WEST END AVE AND HAYES ST
BETWEEN 18TH AVE N AND 17TH AVE N.
- | | |
|---|---|
| HAYES ST | 18TH AVE N |
| LANE WIDTH: 12' | LANE WIDTH: 11' |
| SHOULDER WIDTH: N/A | SHOULDER WIDTH: N/A |
| SIDEWALK WIDTH: 10' | SIDEWALK WIDTH: 10' |
| PARKING LANE WIDTH: 7' | PARKING LANE WIDTH: 7' |
| OVERALL ROADWAY WIDTH (INCL. SIDEWALK): 51' ± | OVERALL ROADWAY WIDTH (INCL. SIDEWALK): 49' ± |
2. TWO (2) 11' LANES SHALL BE MAINTAINED FOR THE DURATION OF THIS PROJECT ON HAYES ST & 18TH AVE N.
3. CONTRACTOR SHALL NOTIFY ALL MUNICIPALITIES PRIOR TO LANE CLOSURES.
4. TRAFFIC CONTROL DEVICES SHALL MEET THE REQUIREMENTS OF THE MUTCD "MANUAL ON
UNIFORM TRAFFIC CONTROL DEVICES", PART 6 - TEMPORARY TRAFFIC CONTROL.
5. TRAFFIC CONTROL NOTES, DETAILS OR ANYTHING SHOWN IN THE PLAN DOES NOT RELIEVE
THE CONTRACTOR OF HIS RESPONSIBILITY TO ABIDE BY THE CURRENT EDITION OF THE
MUTCD "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
6. ALL TRAFFIC CONTROL DEVICES USED IN THIS PLAN ARE TO BE COMPLIANT WITH THE MUTCD.
REFER TO THE MUTCD FOR DETAILS REGARDING SIZE, HEIGHT, DIMENSIONS, ETC. OF TRAFFIC
CONTROL DEVICES.
7. NO POLICE OFFICERS WILL BE USED FOR THE DURATION OF THIS PROJECT.
8. ALL SIDEWALKS AND CURB RAMPS TO REMAIN OPEN FOR PROJECT DURATION.

[illegible]

C COLLIERS
ENGINEERING CO., INC.
CONSULTING • DESIGN • CONSTRUCTION

2949 NOLENSVILLE PIKE, NASHVILLE, TN 37211
PHONE: (615) 331-1441 FAX: (615) 331-1050

**1717 HAYES ST
TRAFFIC CONTROL PLAN
DAVIDSON COUNTY, TENNESSEE**



DATE: 01/14/26

DESIGNED BY: ADD

DRAWN BY: ADD

SUPERVISED BY: SGB

CHECKED BY: JDS

NOT TO SCALE	
YEAR:	2026
SHEET NO:	